



**COUNTY OF SAN LUIS OBISPO  
DEPARTMENT OF PLANNING AND BUILDING  
STAFF REPORT**

**Tentative Notice of Action**

Promoting the wise use of land  
Helping build great communities

MEETING DATE January 6, 2006 LOCAL EFFECTIVE DATE January 20, 2005	CONTACT/PHONE Ryan Hostetter (805) 788-2351	APPLICANT J. Tenbroeck	FILE NO. DRC2004-00107
<b>SUBJECT</b> Hearing to consider a request by J. TENBROECK INC. for a Minor Use Permit/Coastal Development Permit to allow a new 3,558 square foot, triple level, single family residence with attached garage. The project will result in the disturbance of approximately 2,380 square feet of a 3,200 square foot parcel with an average slope of approximately 25-29 percent. The proposed project is within the Residential Single Family land use category and is located at 871 Park Ave. in the community of Cayucos. The site is in the Estero planning area.			
<b>RECOMMENDED ACTION</b> 1. Adopt the Negative Declaration in accordance with the applicable provisions of the California Environmental Quality Act, Public Resources Code Section 21000 et seq. 2. Approve Minor Use Permit DRC2004-00107 based on the findings listed in Exhibit A and the conditions listed in Exhibit B			
<b>ENVIRONMENTAL DETERMINATION</b> The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Section 21000 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on November 10, 2005 for this project. Mitigation measures are proposed to address Geology and Soils, and Public Services and are included as conditions of approval.			
<b>LAND USE CATEGORY</b> Residential Single Family	<b>COMBINING DESIGNATION</b> Local Coastal Program, Geologically Sensitive Area	<b>ASSESSOR PARCEL NUMBER</b> 064-081-008	<b>SUPERVISOR DISTRICT(S)</b> 2
<b>PLANNING AREA STANDARDS:</b> Setbacks & Height <i>Does the project meet applicable Planning Area Standards: <b>Yes - see discussion</b></i>			
<b>LAND USE ORDINANCE STANDARDS:</b> Local Coastal Program, Geologically Sensitive Area <i>Does the project conform to the Land Use Ordinance Standards: <b>Yes - see discussion</b></i>			
<b>FINAL ACTION</b> This tentative decision will become the final action on the project, unless the tentative decision is changed as a result of information obtained at the administrative hearing or is appealed to the County Board of Supervisors pursuant Section 23.01.042 of the Coastal Zone Land Use Ordinance; effective on the 10th working day after the receipt of the final action by the California Coastal Commission. The tentative decision will be transferred to the Coastal Commission following the required 14 calendar day local appeal period after the administrative hearing.  The applicant is encouraged to call the Central Coast District Office of the Coastal Commission in Santa Cruz at (831) 427-4863 to verify the date of final action. The County will not issue any construction permits prior to the end of the Coastal Commission process.			

ADDITIONAL INFORMATION MAY BE OBTAINED BY CONTACTING THE DEPARTMENT OF PLANNING & BUILDING AT:  
COUNTY GOVERNMENT CENTER ♦ SAN LUIS OBISPO ♦ CALIFORNIA 93408 ♦ (805) 781-5600 ♦ FAX: (805) 781-1242

EXISTING USES: Site is currently vacant	
SURROUNDING LAND USE CATEGORIES AND USES: <i>North:</i> Highway 1 <i>South:</i> Residential Single Family/residential <i>East:</i> Residential Single Family/residential <i>West:</i> Residential Single Family/residential	
OTHER AGENCY / ADVISORY GROUP INVOLVEMENT: The project was referred to: Public Works, Cayucos Fire, Paso Robles Beach Water Assn., California Coastal Commission, Cayucos Citizens' Advisory Council (CCAC), and Kerry Brown (CCAC liaison)	
TOPOGRAPHY: Site is moderately to steeply sloping (20-29%)	VEGETATION: Grasses
PROPOSED SERVICES: Water supply: Community system Sewage Disposal: Community sewage disposal system Fire Protection: Cayucos	ACCEPTANCE DATE: August 5, 2005

## DISCUSSION

### PLANNING AREA STANDARDS:

Height: Maximum allowed height within this area of Cayucos is to be no higher than 28 feet which is measured from average natural grade. This project complies with this standard at a maximum height of 28 feet from average natural grade.

Setbacks : Required setbacks for the Morro Rock View in Block 18 are as follows: Front – 0 feet, Side – 3 feet, and Rear – 5 feet. This project complies with these standards with proposed setbacks equal to the minimum allowed.

### LAND USE ORDINANCE STANDARDS:

Local Coastal Program: The project site is located within the California Coastal Zone as determined by the California Coastal Act of 1976 and is subject to the provisions of the Local Coastal Plan.

### Geologic Study Area (Section 23.07.080)

The project site is located within a Geologic Study Area and a geologic report is required for hillside development proposals adjacent to Morro Bay and the Cayucos Urban Reserve Line. The applicant has submitted a geologic evaluation conducted by Geo Solutions on July 18, 2005 and February 3, 2005. These reports have been reviewed by the County Geologist Lew Rosenberg, and recommendations have been included into the project as mitigation measures.

### COASTAL PLAN POLICIES:

#### **Public Works:**

*Policy 1:* Availability of Service Capacity applies to the project. A referral from the Morro Rock Mutual Water Co. was submitted stating that they will provide service.

#### **Coastal Watersheds:**

*Policy 7:* Siting of new development: *The proposed project is consistent with this policy because the new residence will be located on an existing lot of record in the Residential Single Family category. The new home will be located on slopes in excess of 20% because the*

*entire parcel consists of slopes of 20% or more and there is no feasible way to allow a single family home on the property without constructing on slopes of 20%.*

*Policy 8: Timing of new construction: The proposed project is consistent with this policy because if grading is to occur or left unfinished between October 15 through April 15 the project is required to have an erosion and sedimentation control plan and all sedimentation and erosion control measures will be in place before the start of the rainy season.*

*Policy 10: Drainage Provisions: The proposed project is consistent with this policy because the project is required to have a drainage plan that shows the construction of the new residence will not increase erosion or runoff.*

**Hazards:**

*Policy 1: New Development: The proposed project is consistent with this policy because it is located and designed to minimize risks to human life and property.*

*Policy 2: Erosion and Geologic Stability: The proposed project is consistent with this policy because it is designed to ensure structural stability while not creating or contributing to erosion of geological instability.*

COMMUNITY ADVISORY GROUP COMMENTS: The Cayucos Land Use Committee approved the project with some concerns. Concerns include (but are not limited to) massing, design, safety during construction, drainage, parking, and trash (letter attached). Staff has addressed some of their concerns in the project conditions of approval (i.e. height verification, drainage plan, and sedimentation and erosion control plan), however some of the concerns are not regulated by the Planning Department and the applicant should contact the local Sheriff with concerns regarding traffic.

**AGENCY REVIEW:**

Public Works- Need drainage plan, encroachment plan, and traffic control plan for work in the right of way.

Cayucos FPD: Need fire sprinklers to NFPA 13.D standards.

California Coastal Commission – None received.

Morro Rock Mutual Water – Will provide water service.

**LEGAL LOT STATUS:**

The lot was legally created by a recorded map (Morro Rock View) at a time when that was a legal method of creating lots.

## EXHIBIT A - FINDINGS

### *Environmental Determination*

- A. The Environmental Coordinator, after completion of the initial study, finds that there is no substantial evidence that the project may have a significant effect on the environment, and the preparation of an Environmental Impact Report is not necessary. Therefore, a Negative Declaration (pursuant to Public Resources Code Section 21000 et seq., and CA Code of Regulations Section 15000 et seq.) has been issued on November 10, 2005 for this project. Mitigation measures are proposed to address Geology and Soils, and Public Services and are included as conditions of approval.

### *Minor Use Permit*

- B. The proposed project or use is consistent with the San Luis Obispo County General Plan because the use is an allowed use and as conditioned is consistent with all of the General Plan policies.
- C. As conditioned, the proposed project or use satisfies all applicable provisions of Title 23 of the County Code.
- D. The establishment and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use because the single family residence does not generate activity that presents a potential threat to the surrounding property and buildings. This project is subject to Ordinance and Building Code requirements designed to address health, safety and welfare concerns.
- E. The proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because the single family residence is similar to, and will not conflict with, the surrounding lands and uses.
- F. The proposed project or use will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved with the project because the project is located on Park Ave., a local road constructed to a level able to handle any additional traffic associated with the project.

### *Coastal Access*

- G. The proposed use is in conformity with the public access and recreation policies of Chapter 3 of the California Coastal Act, because the project is not adjacent to the coast and the project will not inhibit access to the coastal waters and recreation areas.

## **EXHIBIT B - CONDITIONS OF APPROVAL**

### **Approved Development**

1. This approval authorizes:
  - a. Minor Use Permit/Coastal Development Permit to allow a new 3,558 square foot, triple level, single family residence with attached garage. The project will result in the disturbance of approximately 2,380 square feet of a 3,200 square foot parcel with an average slope of approximately 25-29 percent.
  - b. A maximum height of 28 feet (as measured from average natural grade).

### **Conditions required to be completed at the time of application for construction permits**

#### ***Site Development***

2. The applicant shall submit plans that show all development consistent with the approved site plan, floor plan, architectural elevations and landscape plan.
3. The applicant shall provide details on any proposed exterior lighting, if applicable. The details shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp or the related reflector interior surface is visible from adjacent properties. Light hoods shall be dark colored.

#### ***Fire Safety***

4. All plans submitted to the Department of Planning and Building shall meet the fire and life safety requirements of the California Fire Code. Requirements shall include, but not be limited to those outlined in the Fire Safety Plan, prepared by the Cayucos FPD for this proposed project and referral December 1, 2004.

#### ***Services (for community water and sewer)***

5. The applicant shall provide a letter from Morro Rock Mutual Water Co. stating they are willing and able to service the property.
6. The applicant shall submit evidence that a septic system, adequate to serve the proposal, can be installed on the site.

### **Conditions to be completed prior to issuance of a construction permit**

#### ***Fees***

7. The applicant shall pay all applicable school and public facilities fees.

### **Conditions to be completed during project construction**

#### ***Building Height***

8. The maximum height of the project is 28 feet from average natural grade.
  - a. **Prior to any site disturbance**, a licensed surveyor or civil engineer shall stake the lot corners, building corners, and establish average natural grade and set a reference point (benchmark).

- b. **Prior to approval of the foundation inspection**, the benchmark shall be inspected by a building inspector prior to pouring footings or retaining walls, as an added precaution.
- c. **Prior to approval of the roof nailing inspection**, the applicant shall provide the building inspector with documentation that gives the height reference, the allowable height and the actual height of the structure. This certification shall be prepared by a licensed surveyor or civil engineer.

**Conditions to be completed prior to occupancy or final building inspection /establishment of the use**

- 9. Prior to occupancy or final inspection, which ever occurs first, the applicant shall obtain final inspection and approval from CDF of all required fire/life safety measures.
- 10. The applicant shall contact the Department of Planning and Building to have the site inspected for compliance with the conditions of this approval.

**On-going conditions of approval (valid for the life of the project)**

- 11. This land use permit is valid for a period of 24 months from its effective date unless time extensions are granted pursuant to Land Use Ordinance Section 23.02.050 or the land use permit is considered vested. This land use permit is considered to be vested once a construction permit has been issued and substantial site work has been completed. Substantial site work is defined by Land Use Ordinance Section 23.02.042 as site work progressed beyond grading and completion of structural foundations; and construction is occurring above grade.
- 12. All conditions of this approval shall be strictly adhered to, within the time frames specified, and in an on-going manner for the life of the project. Failure to comply with these conditions of approval may result in an immediate enforcement action by the Department of Planning and Building. If it is determined that violation(s) of these conditions of approval have occurred, or are occurring, this approval may be revoked pursuant to Section 23.10.160 of the Land Use Ordinance.

**Environmental Mitigation Measures**

**Geology and Soils**

- 13. Cut Slopes into rock exceeding 2 to 1 (horizontal to vertical) in steepness shall be retained or reviewed by the Engineering Geologist for stability. Due to the presence of Franciscan Complex rock units in the subsurface, un-retained cuts with slopes of up to 100 percent (1:1 horizontal:vertical) may be considered under the supervision of the Engineering Geologist or Soil Engineer after determining rock quality. Conventional grading equipment may be used for excavations although areas of hard rock may be encountered. Heavy grading equipment is not expected to be utilized at the project.
- 14. The Soil Engineer shall provide recommendations regarding cut slopes into colluvial material. Slope stability analysis may be necessary for soil units.
- 15. The Soils Engineer shall comment on the potential for corrosive soils at the Site.

16. The foundations for the proposed residence shall be in conformance with California Building Code guidelines (1806.5.3, 1806.5.6, and Figure 18-I-1). Face of the footing setback distance shall be a minimum of  $H/3$  (measured horizontally) from the face of the slope where  $H$  is the height of slope. This setback distance need not exceed 40 feet. The Soils Engineer can provide recommendations that supersede this recommendation.
17. Retaining walls shall be designed by a Civil Engineer to withstand the potential for soil creep.
18. Adequate drainage shall be provided behind retaining walls. This drainage plan shall be prepared by the project civil engineer or architect.
19. The Engineering Geologist shall review the site plans prior to construction.
20. Concentrated surface drainage shall be directed away from all constructed slopes. Drainage outfall should be toward the southeast toward Park Ave.
21. Rock rip-rap shall be used for concentrated drainage outfall locations that do not discharge onto paved surfaces. It is recommended that geotextile fabric (Enkamat 7010 or similar) be placed underneath the rip-rap and installed per the manufacturer's recommendations.
22. The following dust mitigation measures shall be initiated at the start and maintained throughout the duration of the construction or grading activity.
  - a. Construction vehicle speed at the work site must be limited to fifteen miles per hour or less;
  - b. Prior to any ground disturbance, sufficient water must be applied to the areas to be disturbed to prevent visible emissions from crossing the property line;
  - c. Areas to be graded or excavated must be kept adequately wetted to prevent visible emissions from crossing the property line;
  - d. Storage piles must be kept adequately wetted, treated with a chemical dust suppressant, or covered when material is not being added to or removed from the pile;
  - e. Equipment must be washed down before moving from the property onto a paved public road;
  - f. Visible track-out on the paved public road must be cleaned using wet sweeping or a HEPA filter equipped vacuum device within twenty-four (24) hours.
23. Gutters shall be installed along all sloped roof-lines. Gutter downspouts shall not allow concentrated drainage to discharge near the foundations but rather should convey the water in solid piping away from the residence and toward the southwest of the proposed residence.

24. Surface drainage shall be controlled to prevent concentrated water-flow on either natural or constructed slopes. Surface drainage gradients shall be planned to prevent ponding and promote drainage of surface water away from building foundations, edges of pavements and sidewalks or natural or man-made slopes. For soil areas we recommend that a minimum of two (2) percent gradient be maintained.
25. Excavation, fill, and construction activities, shall be in accordance with appropriate codes and ordinances of the County of San Luis Obispo. In addition, unusual subsurface conditions encountered during grading such as springs or fill material should be brought to the attention of the Engineering Geologist and Soils Engineer.
26. The Engineering Geologist shall submit a final grading report and a record of drawing (formerly known as as-built) map.
27. The site plan by the project architect shall include a title block for the Engineering Geologist on the right-hand margin of the plans that involve grading.





**COUNTY OF SAN LUIS OBISPO**  
**MITIGATED NEGATIVE DECLARATION & NOTICE OF DETERMINATION**

FOR OFFICIAL USE ONLY (RH)

**ENVIRONMENTAL DETERMINATION NO. ED05-096**

**DATE: November 10, 2005**

**PROJECT/ENTITLEMENT:** Tenbroeck Minor Use Permit DRC2004-00107

**APPLICANT NAME:** J. Tenbroeck Inc.

**ADDRESS:** 1128 1/2 Morro Ave., Morro Bay, CA 93442

**CONTACT PERSON:** John MacDonald

**Telephone:** 805-995-1398

**PROPOSED USES/INTENT:** Request by J. Tenbroeck Inc. for a Minor Use Permit/Coastal Development Permit to allow a new 3,558 square foot, triple level, single family residence with attached garage. The project will result in the disturbance of approximately 2,380 square feet of a 3,200 square foot parcel with an average slope of approximately 25-29%

**LOCATION:** The proposed project is within the Residential Single Family land use category and is located at 871 Park Ave. , approximately 1,200 feet south east of 4th street, in the community of Cayucos. The site is in the Estero planning area.

**LEAD AGENCY:** County of San Luis Obispo Department of Planning & Building  
County Government Center, Rm. 310  
San Luis Obispo, CA 93408-2040

**OTHER POTENTIAL PERMITTING AGENCIES:** None

**ADDITIONAL INFORMATION:** Additional information pertaining to this environmental determination may be obtained by contacting the above Lead Agency address or (805) 781-5600.

**COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT .....5 p.m. on November 28, 2005**

**30-DAY PUBLIC REVIEW PERIOD begins at the time of public notification**

**Notice of Determination**

**State Clearinghouse No.** \_\_\_\_\_

This is to advise that the San Luis Obispo County \_\_\_\_\_ as ☐ *Lead Agency*  
☐ *Responsible Agency* approved/denied the above described project on \_\_\_\_\_, and has made the following determinations regarding the above described project:

The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures were made a condition of the approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at:

Department of Planning and Building, County of San Luis Obispo,  
County Government Center, Room 310, San Luis Obispo, CA 93408-2040

County of San Luis Obispo

**Signature**

**Project Manager Name**

**Date**

**Public Agency**



**San Luis Obispo County**  
**Department of Planning and Building**  
***environmental division***

**ENVIRONMENTAL DOCUMENT FILING FEE FORM**

NOTICE: During environmental review, this project required consultation, review or development of mitigation measures by the California Department of Fish and Game. Therefore, the applicants will be assessed user fees pursuant to section 711.4 of the California Fish and Game Code.. The California Environmental Quality Act (Section 21089) provides that this project is not operative, vested or final until the filing fees are paid.

Lead Agency: County of San Luis Obispo

Date: 110705

County: San Luis Obispo

Project No. DRC2004-00107

Project Title: TenbroeckMinor Use Permit

**Project Applicant**

Name: J. Tenbroeck Inc

Address: 1128 1/2 Morro Ave

City, State, Zip Code: Morro Bay, CA 93442

Telephone #: 805-550-3155

Please remit the following amount to the **County Clerk-Recorder:**

( ) Environmental Impact Report	\$ 850.00
(X) Negative Declaration	\$ 1250.00
(X) County Clerk's Fee	\$ <u>25.00</u>
<b>Total amount due:</b>	<b>1275.00</b>

**AMOUNT ENCLOSED:** \_\_\_\_\_

Checks should be made out to the "County of San Luis Obispo". Payment must be received by the County Clerk, 1055 Monterey Street, Room D-120, San Luis Obispo, CA 93408-2040, within two days of project approval.

**NOTE:** Filing of the Notice of Determination for the attached environmental document requires a filing fee in the amount specified above. If the fee is not paid, the Notice of Determination cannot be filed.



**COUNTY OF SAN LUIS OBISPO  
INITIAL STUDY SUMMARY - ENVIRONMENTAL CHECKLIST**

**Project Title & No.** Tenbroeck Minor Use Permit ED 05-096 DRC2004-00107

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:** The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Aesthetics<br><input type="checkbox"/> Agricultural Resources<br><input type="checkbox"/> Air Quality<br><input type="checkbox"/> Biological Resources<br><input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology and Soils<br><input type="checkbox"/> Hazards/Hazardous Materials<br><input type="checkbox"/> Noise<br><input type="checkbox"/> Population/Housing<br><input checked="" type="checkbox"/> Public Services/Utilities | <input type="checkbox"/> Recreation<br><input type="checkbox"/> Transportation/Circulation<br><input type="checkbox"/> Wastewater<br><input type="checkbox"/> Water<br><input type="checkbox"/> Land Use |
|--|---|--|

**DETERMINATION:** (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- ☐ The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Ryan Hostetter  
Prepared by (Print)

Ryan Hostetter  
Signature

11/3/05  
Date

John Nall  
Reviewed by (Print)

Ellen Carroll  
Signature (for)  
Environmental Coordinator

11/3/05  
Date

### **Project Environmental Analysis**

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, Rm. 310, County Government Center, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

### **A. PROJECT**

**DESCRIPTION:** Request by J. Tenbroeck Inc. for a Minor Use Permit/Coastal Development Permit to allow a new 3,558 square foot, triple level, single family residence with attached garage. The project will result in the disturbance of approximately 2,380 square feet of a 3,200 square foot parcel with an average slope of approximately 25-29%. The proposed project is within the Residential Single Family land use category and is located at 871 Park Ave. , approximately 1,200 feet south east of 4<sup>th</sup> street, in the community of Cayucos. The site is in the Estero planning area.

**ASSESSOR PARCEL NUMBER(S):** 064-081-008

**SUPERVISORIAL DISTRICT #** 2

### **B. EXISTING SETTING**

**PLANNING AREA:** Estero, Cayucos

**LAND USE CATEGORY:** Residential Single Family

**COMBINING DESIGNATION(S):** Local Coastal Plan/Program, Geologic Study

**EXISTING USES:** Undeveloped

**TOPOGRAPHY:** Moderately sloping to steeply sloping approx 25-29%

**VEGETATION:** Grasses

**PARCEL SIZE:** 3200 square feet

**SURROUNDING LAND USE CATEGORIES AND USES:**

<i>North:</i> Highway 1	<i>East:</i> Residential Single Family; residential
<i>South:</i> Residential Single Family; residential	<i>West:</i> Residential Single Family; residential

## C. ENVIRONMENTAL ANALYSIS

During the Initial Study process, several issues were identified as having potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.

### COUNTY OF SAN LUIS OBISPO INITIAL STUDY CHECKLIST

1.	<b>AESTHETICS - Will the project:</b>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a)	Create an aesthetically incompatible site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Introduce a use within a scenic view open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Change the visual character of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Create glare or night lighting, which may affect surrounding areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e)	Impact unique geological or physical features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f)	Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The project site is adjacent to Highway 1 and the eastern property line is approximately 65 feet away from the edge of the highway. There are some existing mid sized mature cypress trees in between the highway and the parcel which blocks the view of the proposed project. The project site is a small single family parcel (approximately 3,200 square feet) and there is no alternative location for a totally non-visible building envelope within this parcel. The property is also sloping down from the highway which will help soften the view of the project site. The parcel is located within the urban area, in between two existing single family residences of a similar height and scale to the proposed project.

**Impact.** No significant visual impacts are expected to occur as the proposed project is located in between existing residences of the same height (max height 28'; measured from average natural grade), and the slope in combination with the off-site cypress trees in between the highway and the property also help block the view of the project site.

**Mitigation/Conclusion.** No mitigation measures are necessary.

2.	<b>AGRICULTURAL RESOURCES - Will the project:</b>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a)	Convert prime agricultural land to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## 2. AGRICULTURAL RESOURCES

- Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
b) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Conflict with existing zoning or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Setting.** The soil types include: Diablo and Cibo clays, (30 - 50 % slope). As described in the Natural Resource Conservation Service Soil Survey, the "non-irrigated" soil class is "VI", and the "irrigated" soil class is "NA".

**Impact.** The project is located in a predominantly non-agricultural area with no agricultural activities occurring on the property or immediate vicinity. No significant impacts to agricultural resources are anticipated.

**Mitigation/Conclusion.** No mitigation measures are necessary.

## 3. AIR QUALITY - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Expose any sensitive receptor to substantial air pollutant concentrations?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create or subject individuals to objectionable odors?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be inconsistent with the District's Clean Air Plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The Air Pollution Control District (APCD) has developed the CEQA Air Quality Handbook to evaluate project specific impacts and help determine if air quality mitigation measures are needed, or if potentially significant impacts could result. To evaluate long-term emissions, cumulative effects, and establish countywide programs to reach acceptable air quality levels, a Clean Air Plan has been adopted (prepared by APCD).

**Impact.** As proposed, the project will result in the disturbance of approximately 2,380 square feet. This will result in the creation of construction dust, as well as short- and long-term vehicle emissions. Based on Table 1-1 of the CEQA Air Quality Handbook, the project will result in less than 10 lbs./day of pollutants, which is below thresholds warranting any mitigation. The project is consistent with the general level of development anticipated and projected in the Clean Air Plan. No significant air quality impacts are expected to occur.

**Mitigation/Conclusion.** No mitigation measures are necessary.

<b>4. BIOLOGICAL RESOURCES -</b> <b><i>Will the project:</i></b>		<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
<b>a)</b>	<b><i>Result in a loss of unique or special status species or their habitats?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>b)</b>	<b><i>Reduce the extent, diversity or quality of native or other important vegetation?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>c)</b>	<b><i>Impact wetland or riparian habitat?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>d)</b>	<b><i>Introduce barriers to movement of resident or migratory fish or wildlife species, or factors, which could hinder the normal activities of wildlife?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>e)</b>	<b><i>Other:</i></b> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The following habitats were observed on the proposed project: Grasses Based on the latest California Diversity database and other biological references, the following species or sensitive habitats were identified:

**Plants:** San Luis Obispo serpentine dudleya (*Dudleya abramsii bettinae*) app. 0.3 miles south of the property, and 0.5 miles south of the property; Jones's layia (*Layia jonesii*) app. 0.9 miles north of the property; Miles's milk-vetch (*Astragalus didymocarpus milesianus*) app. 0.9 miles north of the property

**Wildlife:** southwestern pond turtle (*Emys (=Clemmys) marmorata pallida*) app. 0.3 miles south of the property, 0.5 miles south of the property, 0.7 miles south of the property, and 0.9 miles north of the property; tidewater goby (*Eucyclogobius newberryi*) app. 0.3 miles south of the property, and 0.8 miles north of the property; monarch butterfly (*Danaus plexippus*) app. 0.3 miles north of the property; California red legged frog (*Rana aurora draytonii*) app. 0.8 miles north of the property

**Habitats:** potential California red legged frog (*Rana aurora draytonii*) habitat app. 0.05 miles east of the property

**Impact.** The project site does not support any sensitive native vegetation, significant wildlife habitats, or special status species. The site does not contain any streams or wetlands as the site is entirely sloping and does not support any wetland or riparian habitat which are necessary for the red legged frog, tidewater goby, and the southwestern pond turtle. The site also does not contain any habitat

area for the monarch butterfly which usually nest and thrive in areas that are heavily wooded, specifically with eucalyptus trees.

**Mitigation/Conclusion.** No significant biological impacts are expected to occur, and no mitigation measures are necessary.

<b>5. CULTURAL RESOURCES -</b> <b><i>Will the project:</i></b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <b><i>Disturb pre-historic resources?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <b><i>Disturb historic resources?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <b><i>Disturb paleontological resources?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <b><i>Other:</i></b> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Setting.** The project is located in an area historically occupied by the Southern Salinan and Obispeno Chumash. No historic structures are present and no paleontological resources are known to exist in the area.

**Impact.** The project is not located in an area that would be considered culturally sensitive due to lack of physical features typically associated with prehistoric occupation. No evidence of cultural materials was noted on the property. Impacts to historical or paleontological resources are not expected.

**Mitigation/Conclusion.** No significant cultural resource impacts are expected to occur, and no mitigation measures are necessary.

<b>6. GEOLOGY AND SOILS -</b> <b><i>Will the project:</i></b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <b><i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i></b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <b><i>Be within a California Geological Survey "Alquist-Priolo Earthquake Fault Zone"?</i></b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <b><i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i></b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <b><i>Change rates of soil absorption, or amount or direction of surface runoff?</i></b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



6. <b>GEOLOGY AND SOILS -</b> <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
e) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** GEOLOGY - The topography of the project is moderately sloping to steeply sloping. The area proposed for development is within the Geologic Study Area designation. The landslide risk potential is considered high. The liquefaction potential during a ground-shaking event is considered low. Active faulting is known to exist on or near the subject property app. 1.5 miles west. The project is not within a known area containing serpentine or ultramafic rock or soils.

Any project within the Geologic Study area designation or within a high liquefaction area is subject to the preparation of a geological report per the County's Land Use Ordinance (LUO) section 22.14.070 (c) to evaluate the area's geological stability relating to the proposed use. A geological report was conducted for the project (GeoSolutions Inc. February 3, 2005 & July 18, 2005).

**DRAINAGE** – The area proposed for development is outside the 100-year Flood Hazard designation. The closest creek (an unnamed stream) from the proposed development is approximately 0.3 miles to the south. As described in the Natural Resource Conservation Service Soil Survey, the soil is considered very poorly drained. For areas where drainage is identified as a potential issue, the LUO (Sec. 22.52.080) includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or detention basins, or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows.

**SEDIMENTATION AND EROSION** – The soil types include: Diablo and Cibo clays, (30 - 50 % slope). As described in the NRCS Soil Survey, the soil surface is considered to have low to moderate erodibility and high shrink-swell characteristics.

When highly erosive conditions exist, a sedimentation and erosion control plan is required (LUO Sec. 22.52.090) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts. Projects involving more

than one acre of disturbance are subject to the preparation of a Storm Water Pollution Prevention Plan (SWPPP), which focuses on controlling storm water runoff. The Regional Water Quality Control Board is the local extension who monitors this program.

**Impact.** As proposed, the project will result in the disturbance of approximately 2,380 square feet on moderately to steeply sloping soils (approx. 25-29%). The geologic evaluation (GeoSolutions February 3, 2005 & July 18, 2005) stated that, "No landslide hazard was observed on or in the immediate vicinity of the proposed residence." The report goes on to conclude, "The proposed building site is geologically suitable for the proposed single-family residence provided that the recommendations provided herein are implemented. The proposed work should not affect the geologic stability of the site." The recommendations are included as mitigation measures in this report.

**Mitigation/Conclusion.** The project contains recommendations from the engineering geology review (GeoSolutions Inc. February 3, 2005 & July 18, 2005) which mitigate construction impacts to a less than significant level. These mitigation measures include but are not limited to recommendations for project grading, foundation design, dust mitigation, drainage, and erosion control. For specific mitigation measures please refer to the mitigation summary table at the end of this report.

7. HAZARDS & HAZARDOUS MATERIALS - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a risk of explosion or release of hazardous substances (e.g. oil, pesticides, chemicals, radiation) or exposure of people to hazardous substances?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Interfere with an emergency response or evacuation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Expose people to safety risk associated with airport flight pattern?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Increase fire hazard risk or expose people or structures to high fire hazard conditions?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Create any other health hazard or potential hazard?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The project is not located in an area of known hazardous material contamination. The project is not within a high severity risk area for fire. The project is not within the Airport Review area.

**Impact.** The project does not propose the use of hazardous materials. The project does not present a significant fire safety risk. The project is not expected to conflict with any regional evacuation plan.

**Mitigation/Conclusion.** No significant impacts as a result of hazards or hazardous materials are

anticipated, and no mitigation measures are necessary.

<b>8. NOISE - Will the project:</b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Expose people to noise levels that exceed the County Noise Element thresholds?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Generate increases in the ambient noise levels for adjoining areas?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Expose people to severe noise or vibration?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The site lies directly south of Highway 1. The topography between the highway and the site consists of a steep slope that goes down toward the Highway. Because the topography is so steep behind the project site, the highway noise is blocked by the hillside. In reviewing the County's Noise Element, the noise contour maps indicated that the eastern half of the site could be in the range of 60 to 65 dbA. The county considers residences, as sensitive noise receptors.

**Impact.** As proposed, future residents on portions of the project site may be exposed to unacceptable levels from nearby road-related noise (Highway 1), which is considered a potentially significant effect. However, because the topography between the project site and the highway, the hillside blocks majority of the sound, so that the location of the proposed structure is shielded from highway noise.

**Mitigation/Conclusion.** No significant noise impacts are anticipated, and no mitigation measures are necessary.

<b>9. POPULATION/HOUSING - Will the project:</b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Displace existing housing or people, requiring construction of replacement housing elsewhere?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create the need for substantial new housing in the area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Use substantial amount of fuel or energy?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**9. POPULATION/HOUSING -***Will the project:*Potentially  
SignificantImpact can  
& will be  
mitigatedInsignificant  
ImpactNot  
Applicablee) *Other:* \_\_\_\_\_☐☐☐☐

**Setting** In its efforts to provide for affordable housing, the county currently administers the Home Investment Partnerships (HOME) Program and the Community Development Block Grant (CDBG) program, which provides limited financing to projects relating to affordable housing throughout the county.

**Impact.** The project will not result in a need for a significant amount of new housing, and will not displace existing housing.

**Mitigation/Conclusion.** No significant population and housing impacts are anticipated, and no mitigation measures are necessary.

**10. PUBLIC SERVICES/UTILITIES -***Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:*Potentially  
SignificantImpact can  
& will be  
mitigatedInsignificant  
ImpactNot  
Applicablea) *Fire protection?*☐☒☐☐b) *Police protection (e.g., Sheriff, CHP)?*☐☒☐☐c) *Schools?*☐☒☐☐d) *Roads?*☐☒☐☐e) *Solid Wastes?*☐☒☐☐f) *Other public facilities?*☐☐☒☐g) *Other:* \_\_\_\_\_☐☐☐☐

**Setting.** The project area is served by the County Sheriff's Department and CDF/County Fire as the primary emergency responders. The closest CDF fire station (Cayucos Station 11) is approximately 2 miles to the south. The project area is also served by the Cayucos Fire Department with a station app. 0.4 miles north of the property. The closest Sheriff substation is in Los Osos, which is approximately 12 miles from the proposed project. The project is located in the Cayucos Elementary School District.

**Impact.** The project's direct and cumulative impacts are within the general assumptions of allowed use for the subject property that was used to estimate the fees in place.

**Mitigation/Conclusion.** Public facility (county) and school (State Government Code 65995 et seq) fee programs have been adopted to address the project's direct and cumulative impacts, and will reduce the impacts to less than significant levels.

<b>11. RECREATION - Will the project:</b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Increase the use or demand for parks or other recreation opportunities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Affect the access to trails, parks or other recreation opportunities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Other _____</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The County Trails Plan shows that a potential trail does not go through the proposed project. The project is not proposed in a location that will affect any trail, park or other recreational resource.

**Impact.** The proposed project will not create a significant need for additional park or recreational resources.

**Mitigation/Conclusion.** No significant recreation impacts are anticipated, and no mitigation measures are necessary.

<b>12. TRANSPORTATION/ CIRCULATION - Will the project:</b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Increase vehicle trips to local or areawide circulation system?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce existing "Levels of Service" on public roadway(s)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Provide for adequate emergency access?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Result in inadequate parking capacity?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Result in inadequate internal traffic circulation?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., pedestrian access, bus turnouts, bicycle racks, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Result in a change in air traffic patterns that may result in substantial safety risks?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**12. TRANSPORTATION/  
CIRCULATION - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
i) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** Future development will access onto the following public road(s): Park Ave. (local road). The identified roadway is operating at acceptable levels. Referrals were sent to Public Works/Caltrans. No significant traffic-related concerns were identified.

**Impact.** The proposed project is estimated to generate a small amount of traffic (single family residence) which is within the assumed amount for that land use category (Residential Single Family) under the circulation element of the general plan.

**Mitigation/Conclusion.** No significant traffic impacts were identified, and no mitigation measures are necessary.

**13. WASTEWATER - Will the  
project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Change the quality of surface or ground water (e.g., nitrogen-loading, daylighting)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Adversely affect community wastewater service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The proposed project will connect into a community wastewater system.

**Impact.** The project proposes to use a community system (Cayucos Sanitary District) as its means to dispose wastewater. Based on the proposed plans, adequate area appears available for an on-site system.

**Mitigation/Conclusion.** Prior to issuance of a construction permit the applicant is required to show evidence that the proposed project can adequately connect into the community system. No negative wastewater impacts are expected to occur therefore no mitigation measures are necessary.

**14. WATER - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any water quality standards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

14. WATER - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
b) Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, temperature, dissolved oxygen, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Change the quantity or movement of available surface or ground water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Adversely affect community water service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting.** The project proposes to use a community system (Morro Rock Water Company) as its water source. Based on available information, the proposed water source is not known to have any significant availability or quality problems.

The topography of the project is moderately sloping to steeply sloping. The closest creek (an unnamed creek) from the proposed development is approximately 0.3 miles away. As described in the NRCS Soil Survey, the soil surface is considered to have low erodibility.

**Impact.** As proposed, the project will result in the disturbance of approximately 2,380 square feet. Based on the project description, as shown below, a reasonable "worst case" indoor water usage would likely be about 0.85 acre feet/year (AFY)

*1 residential lots (w/primary (0.85 afy) = 0.85 afy*

Source: "City of Santa Barbara Water Demand Factor & Conservation Study "User Guide" (Aug., 1989)

**Mitigation/Conclusion.** Since no potentially significant water quantity or quality impacts were identified, no specific measures above standard requirements have been determined necessary. Standard drainage and erosion control measures will be required for the proposed project and will provide sufficient measures to adequately protect surface water quality.

15. LAND USE - Will the project:	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) Be potentially inconsistent with land use, policy/regulation (e.g., general plan [county land use element and ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. LAND USE - Will the project:	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
b) <i>Be potentially inconsistent with any habitat or community conservation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be potentially incompatible with surrounding land uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Setting/Impact.** Surrounding uses are identified on Page 2 of the Initial Study. The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance, Local Coastal Plan, etc.). Referrals were sent to outside agencies to review for policy consistencies (e.g., CDF for Fire Code, APCD for Clean Air Plan, etc.). The project was found to be consistent with these documents (refer also to Exhibit A on reference documents used).

The project is not within or adjacent to a Habitat Conservation Plan area. The project is consistent or compatible with the surrounding uses as summarized on page 2 of this Initial Study.

**Mitigation/Conclusion.** No inconsistencies were identified and therefore no additional measures above what will already be required was determined necessary.

16. MANDATORY FINDINGS OF SIGNIFICANCE - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



- c) ***Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?***

☐☐☒☐

For further information on CEQA or the county's environmental review process, please visit the County's web site at "[www.sloplanning.org](http://www.sloplanning.org)" under "Environmental Review", or the California Environmental Resources Evaluation System at "[http://ceres.ca.gov/topic/env\\_law/ceqa/guidelines/](http://ceres.ca.gov/topic/env_law/ceqa/guidelines/)" for information about the California Environmental Quality Act.

### **Exhibit A - Initial Study References and Agency Contacts**

The County Planning or Environmental Division have contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an ☒) and when a response was made, it is either attached or in the application file:

<b><u>Contacted</u></b>	<b><u>Agency</u></b>	<b><u>Response</u></b>
<input checked="" type="checkbox"/>	County Public Works Department	<b>In File**</b>
<input type="checkbox"/>	County Environmental Health Division	<b>Not Applicable</b>
<input type="checkbox"/>	County Agricultural Commissioner's Office	<b>Not Applicable</b>
<input type="checkbox"/>	County Airport Manager	<b>Not Applicable</b>
<input type="checkbox"/>	Airport Land Use Commission	<b>Not Applicable</b>
<input type="checkbox"/>	Air Pollution Control District	<b>Not Applicable</b>
<input type="checkbox"/>	County Sheriff's Department	<b>Not Applicable</b>
<input type="checkbox"/>	Regional Water Quality Control Board	<b>Not Applicable</b>
<input checked="" type="checkbox"/>	CA Coastal Commission	<b>None</b>
<input type="checkbox"/>	CA Department of Fish and Game	<b>Not Applicable</b>
<input type="checkbox"/>	CA Department of Forestry	<b>Not Applicable</b>
<input type="checkbox"/>	CA Department of Transportation	<b>Not Applicable</b>
<input type="checkbox"/>	Community Service District	<b>Not Applicable</b>
<input checked="" type="checkbox"/>	Other <u>Cayucos Sanitary</u>	<b>None</b>
<input checked="" type="checkbox"/>	Other <u>Morro Rock Water Assn</u>	<b>In File**</b>

**\*\* "No comment" or "No concerns"-type responses are usually not attached**

The following checked ("☒") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

<input checked="" type="checkbox"/> Project File for the Subject Application	<input checked="" type="checkbox"/> Area Plan and Update EIR
<u>County documents</u>	<input type="checkbox"/> Circulation Study
<input type="checkbox"/> Airport Land Use Plans	<u>Other documents</u>
<input checked="" type="checkbox"/> Annual Resource Summary Report	<input checked="" type="checkbox"/> Archaeological Resources Map
<input type="checkbox"/> Building and Construction Ordinance	<input checked="" type="checkbox"/> Area of Critical Concerns Map
<input type="checkbox"/> Coastal Policies	<input checked="" type="checkbox"/> Areas of Special Biological Importance Map
<input checked="" type="checkbox"/> Framework for Planning (Coastal & Inland)	<input checked="" type="checkbox"/> California Natural Species Diversity Database
<input checked="" type="checkbox"/> General Plan (Inland & Coastal), including all maps & elements; more pertinent elements considered include:	<input checked="" type="checkbox"/> Clean Air Plan
<input checked="" type="checkbox"/> Agriculture & Open Space Element	<input checked="" type="checkbox"/> Fire Hazard Severity Map
<input checked="" type="checkbox"/> Energy Element	<input checked="" type="checkbox"/> Flood Hazard Maps
<input checked="" type="checkbox"/> Environment Plan (Conservation, Historic and Esthetic Elements)	<input checked="" type="checkbox"/> Natural Resources Conservation Service Soil Survey for SLO County
<input checked="" type="checkbox"/> Housing Element	<input checked="" type="checkbox"/> Regional Transportation Plan
<input checked="" type="checkbox"/> Noise Element	<input checked="" type="checkbox"/> Uniform Fire Code
<input type="checkbox"/> Parks & Recreation Element	<input checked="" type="checkbox"/> Water Quality Control Plan (Central Coast Basin – Region 3)
<input checked="" type="checkbox"/> Safety Element	<input checked="" type="checkbox"/> GIS mapping layers (e.g., habitat, streams, contours, etc.)
<input checked="" type="checkbox"/> Land Use Ordinance	
<input type="checkbox"/> Real Property Division Ordinance	
<input type="checkbox"/> Trails Plan	
<input type="checkbox"/> Solid Waste Management Plan	

☐ Other \_\_\_\_\_

In addition, the following project specific information and/or reference materials have been considered as a part of the Initial Study:

**Engineering Geology Review, GeoSolutions, February 3, 2005**

**Addendum to the Engineering Geology Review, GeoSolutions, July 18, 2005**

## **Exhibit B - Mitigation Summary Table**

- GS-1 Cut Slopes into rock exceeding 2 to 1 (horizontal to vertical) in steepness shall be retained or reviewed by the Engineering Geologist for stability. Due to the presence of Franciscan Complex rock units in the subsurface, un-retained cuts with slopes of up to 100 percent (1:1 horizontal:vertical) may be considered under the supervision of the Engineering Geologist or Soil Engineer after determining rock quality. Conventional grading equipment may be used for excavations although areas of hard rock may be encountered. Heavy grading equipment is not expected to be utilized at the project.
- GS-2 The Soil Engineer shall provide recommendations regarding cut slopes into colluvial material. Slope stability analysis may be necessary for soil units.
- GS-3 The Soils Engineer shall comment on the potential for corrosive soils at the Site.
- GS-4 The foundations for the proposed residence shall be in conformance with California Building Code guidelines (1806.5.3, 1806.5.6, and Figure 18-I-1). Face of the footing setback distance shall be a minimum of  $H/3$  (measured horizontally) from the face of the slope where H is the height of slope. This setback distance need not exceed 40 feet. The Soils Engineer can provide recommendations that supersede this recommendation.
- GS-5 Retaining walls shall be designed by a Civil Engineer to withstand the potential for soil creep.
- GS-6 Adequate drainage shall be provided behind retaining walls. This drainage plan shall be prepared by the project civil engineer or architect.
- GS-7 The Engineering Geologist shall review the site plans prior to construction.
- GS-8 Concentrated surface drainage shall be directed away from all constructed slopes. Drainage outfall should be toward the southeast toward Park Ave.
- GS-9 Rock rip-rap shall be used for concentrated drainage outfall locations that do not discharge onto paved surfaces. It is recommended that geotextile fabric (Enkamat 7010 or similar) be placed underneath the rip-rap and installed per the manufacturer's recommendations.
- GS-10 The following dust mitigation measures shall be initiated at the start and maintained throughout the duration of the construction or grading activity.
- a. Construction vehicle speed at the work site must be limited to fifteen miles per hour or less;
  - b. Prior to any ground disturbance, sufficient water must be applied to the areas to be disturbed to prevent visible emissions from crossing the property line;

- c. Areas to be graded or excavated must be kept adequately wetted to prevent visible emissions from crossing the property line;
- d. Storage piles must be kept adequately wetted, treated with a chemical dust suppressant, or covered when material is not being added to or removed from the pile;
- e. Equipment must be washed down before moving from the property onto a paved public road;
- f. Visible track-out on the paved public road must be cleaned using wet sweeping or a HEPA filter equipped vacuum device within twenty-four (24) hours.

GS-11 Gutters shall be installed along all sloped roof-lines. Gutter downspouts shall not allow concentrated drainage to discharge near the foundations but rather should convey the water in solid piping away from the residence and toward the southwest of the proposed residence.

GS-12 Surface drainage shall be controlled to prevent concentrated water-flow on either natural or constructed slopes. Surface drainage gradients shall be planned to prevent ponding and promote drainage of surface water away from building foundations, edges of pavements and sidewalks or natural or man-made slopes. For soil areas we recommend that a minimum of two (2) percent gradient be maintained.

GS-13 Excavation, fill, and construction activities, shall be in accordance with appropriate codes and ordinances of the County of San Luis Obispo. In addition, unusual subsurface conditions encountered during grading such as springs or fill material should be brought to the attention of the Engineering Geologist and Soils Engineer.

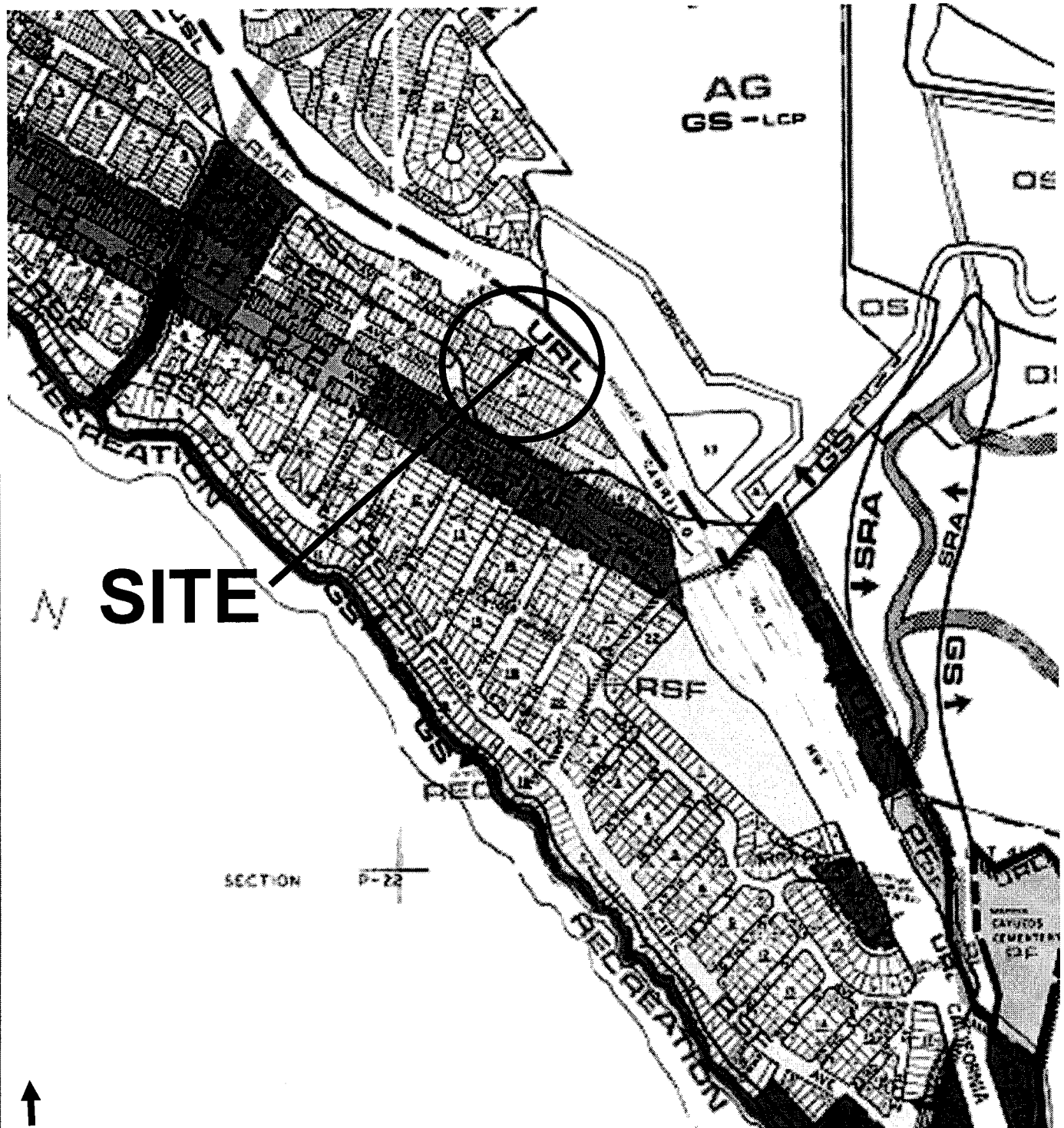
GS-14 The Engineering Geologist shall submit a final grading report and a record of drawing (formerly known as as-built) map.

GS-15 The site plan by the project architect shall include a title block for the Engineering Geologist on the right-hand margin of the plans that involve grading.

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### Vicinity Map



**PROJECT**

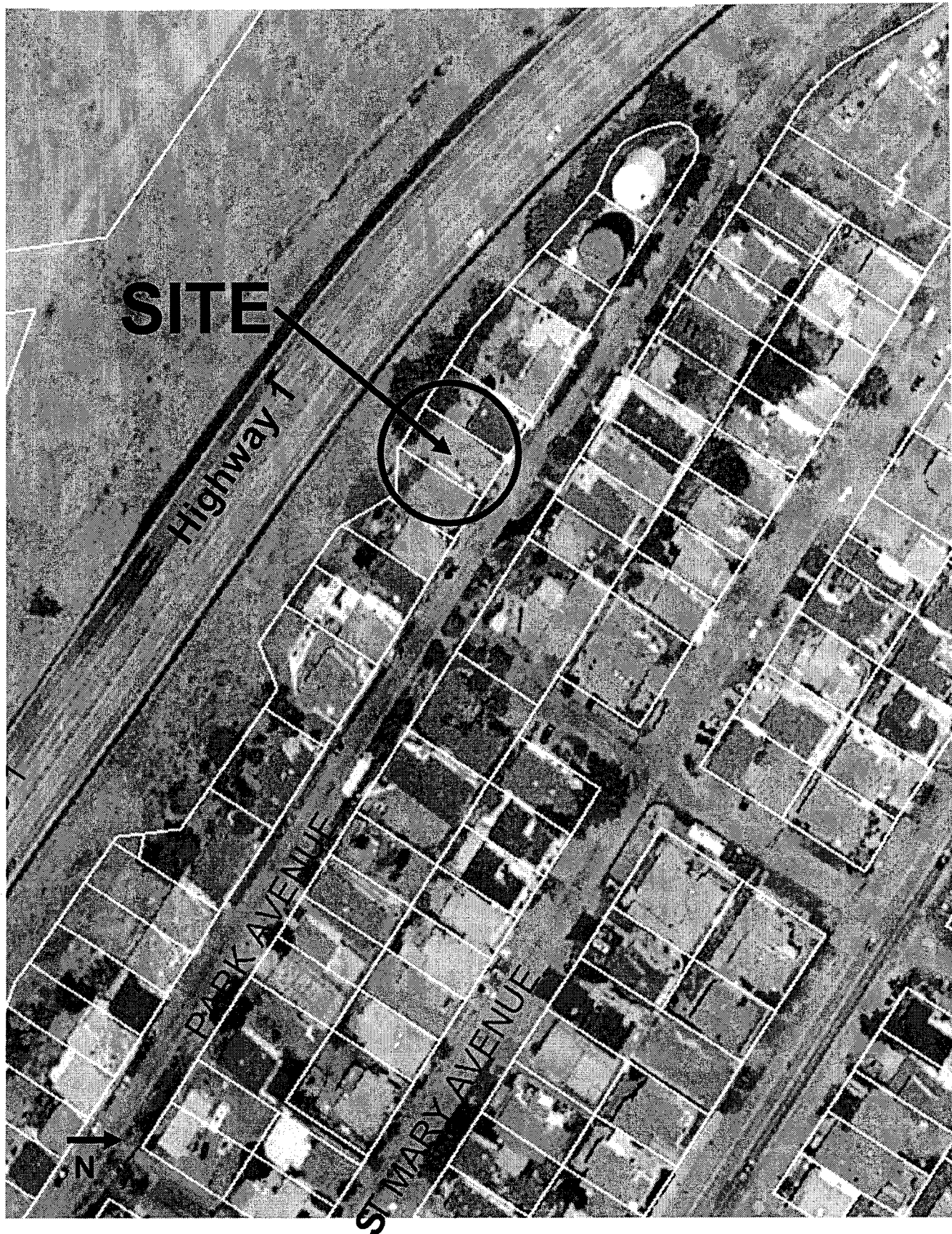
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**EXHIBIT**

Land Use Category Map





**PROJECT**

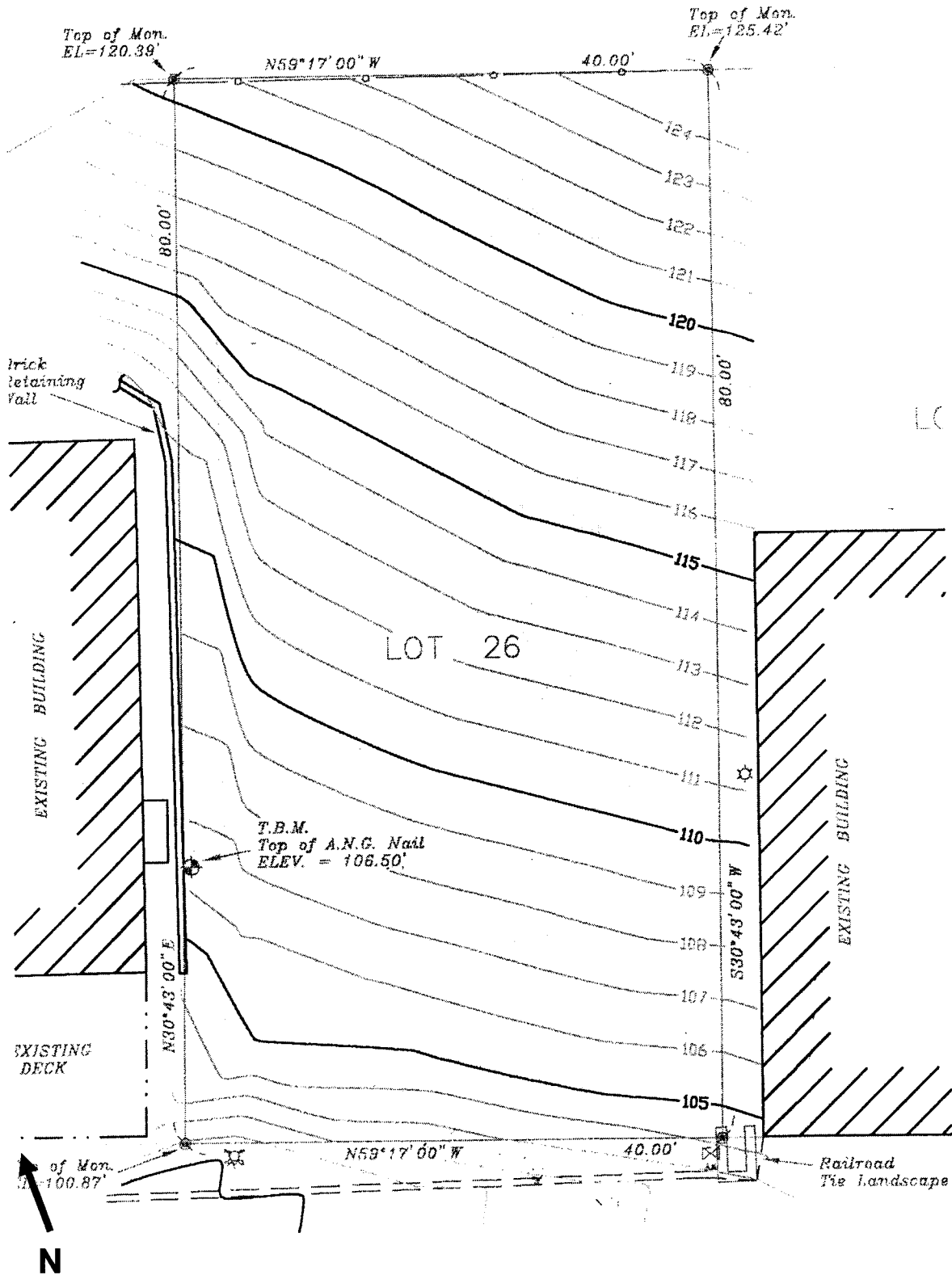
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**EXHIBIT**

Aerial Photo





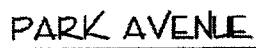
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EXHIBIT

Topography



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## Site Plan

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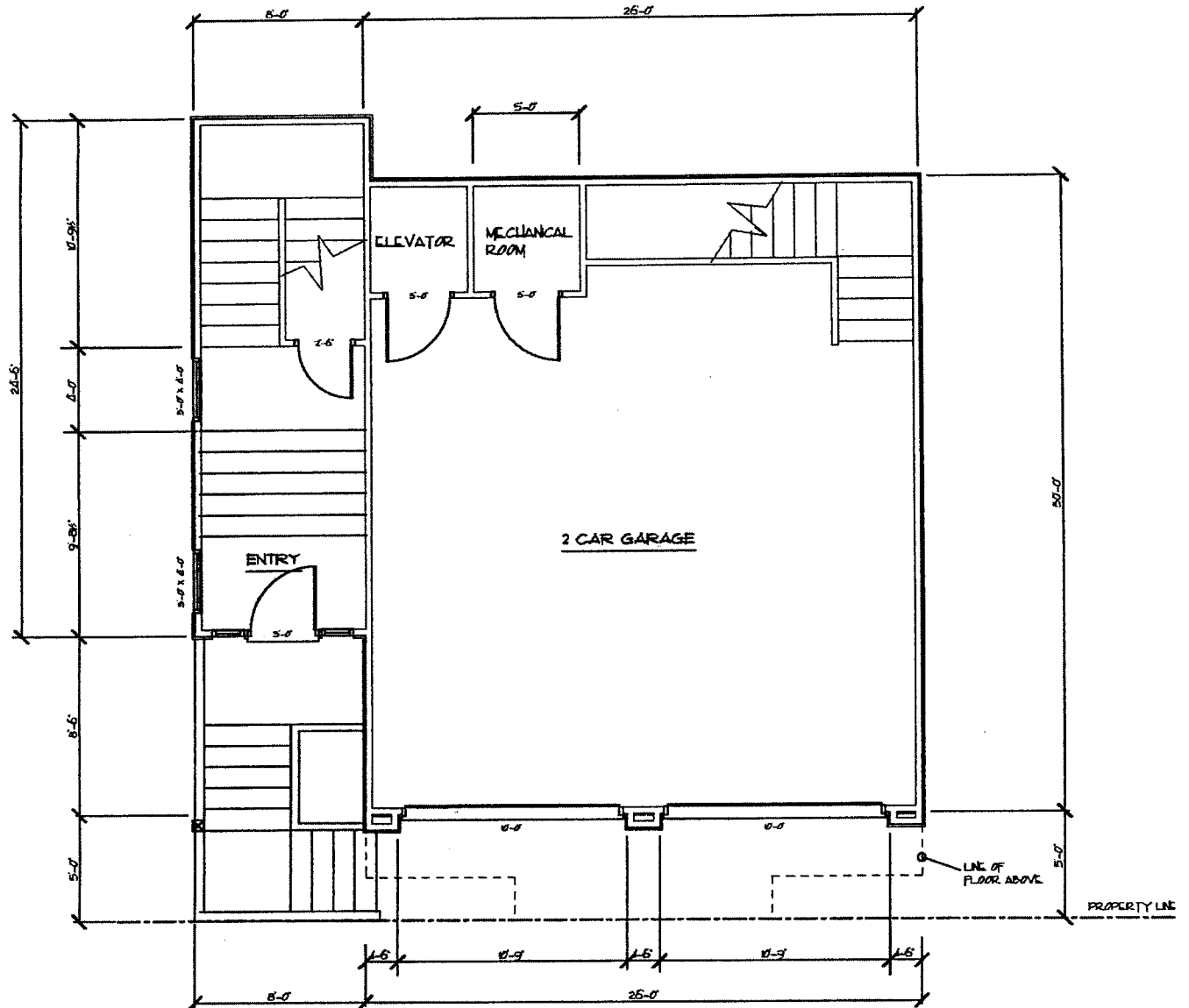


### Lower Floor Plan

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### Upper Floor Plan



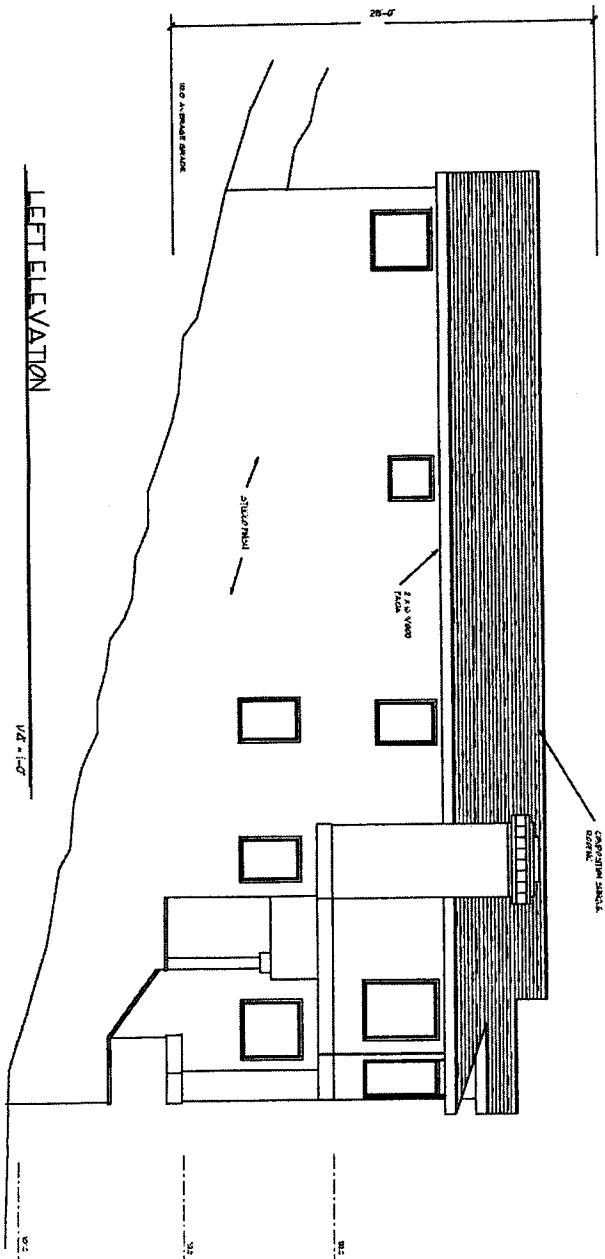
**PROJECT**

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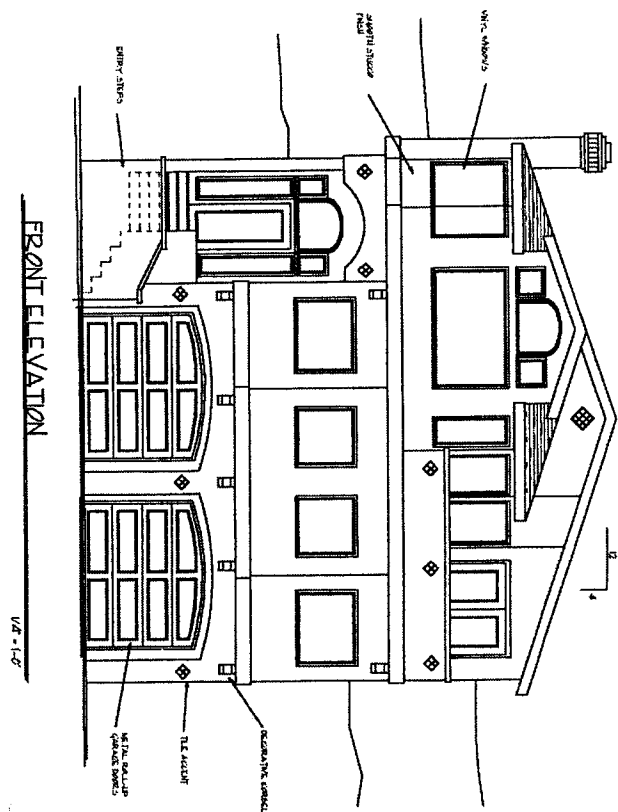


**EXHIBIT**

Garage Floor Plan



DEBIT CALCULATION	
HIGH POINT	15.1
LOW POINT	10.65
AVERAGE PRICE	13.0



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### Left & Front Elevations

RIGHT ELEVATION

1/4" = 1'-0"

28'-0"

ATLANTIC OAKS

CONCRETE SINK

REAR ELEVATION

1/4" = 1'-0"

3/4" STUCCO

4" B

PROJECT

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EXHIBIT

Right & Rear Elevations

